

Visual Property Inspection

12 Riverbend Cr
North Battleford, Saskatchewan

Prepared for :

Bill Helen Schell
North Battleford, Saskatchewan

Phone No. : (306) 937-3278



Inspected by :

Doug Forbes
PO Box 2391
92 26th Str. W
Battleford, Saskatchewan S0M 0E0
Phone: (306) 481-4681 Email: doug.forbes@pillartopost.com

Limitations

- Restricted
 Debris
 Snow
 Vegetation



Conditions

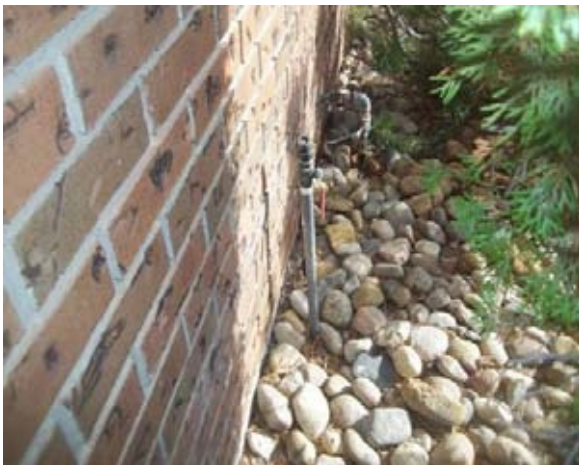
- Clear
 Cloudy
 Rain
 Wet
 Approx. Temperature 15
 Approx. Hydrant Distance 200 yards.

Building

- Condo
 Rural
 Bungalow
 Bi-Level
 2 Story
 3 Story
 Semi-Detached
 Duplex
 Row House
 Other
 Split Level

Landscaping

- Slopes to House
 Flower Bed
 Hedge
 Tree
 Damaged: **No**
 Earth to Wood
 Site Erosion
 No Swale
 Ravine



Driveway

Slopes to House
 Paving Stone
 Gravel
 Concrete
 Asphalt
 Damaged: **No**

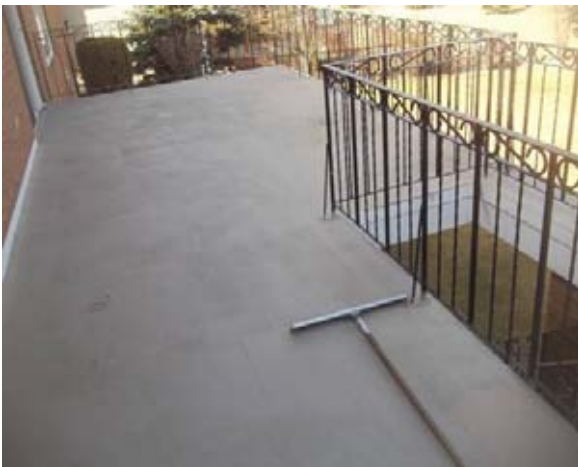
Walkway/Path

Slopes to House
 Paving Stone
 Patio Block
 Concrete
 Asphalt
 Damaged: **No**

Deck/Patio

Unsecured
 Wood
 Brick
 Concrete
 Metal
 Damaged: **No**
 Slopes to House
 Paving Stone
 Patio Block
 Stone
 Crack
 Deterioration
 Mold
 Rot

Repair sealant /covering to reduce moisture related damages.



Railing

Unsecured
 Metal
 Wood
 Incomplete
 None
 Damaged: **No**

Retaining Wall

Not Stable
 No Weep Holes
 Wood
 Concrete
 Stone
 Crack
 Deterioration
 Rot
 Leans

Exterior

Limitations

- Clearance
 Seasonal Storm Windows
 Debris
 Shrub
 Snow
 Restricted
 Parged

Foundation Wall

- Not Exposed
 Poured Concrete
 Block
 Brick
 Stone
 Exterior Rigid Insulation
 PWF
 Piling
 Crack
 Mildew
 Stain
 Frost Heave

Damaged: No

Wall Surface

- No Ground Clearance
 Aluminum
 Composite
 Brick
 Stone
 Stucco
 Vinyl Siding
 Steel
 Split
 Repoint
 Repaint
 Recaulk
 Crack
 Mildew
 Stain
 Wood

Damaged: No

Windows

- Inspected with Binoculars
 Storm
 Unsecured
 Repaint
 Recaulk
 Weather-strip
 Mildew
 Stain
 Poor Trim

Damaged: No

Maintain sealant to reduce moisture related damages.



Doors

- Binds
 Damaged
 Storm
 Unsecured
 Repaint
 Recaulk
 Weather-strip
 Mildew
 Stain
 Split

Operational: Yes

Lighting

- None
 Unsecured

Operational: Yes

Receptacle

- Damaged
 Install GFCI
 Reverse Polarity
 No Ground
 Open Ground

Operational: Yes



Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

Basement Walkout

Damaged: No

- | | | | | | |
|----------------------------------|---|-------------------------------------|-----------------------------------|-------------------------------|--------------------------------|
| <input type="checkbox"/> Covered | <input type="checkbox"/> Poor Condition | <input type="checkbox"/> No Railing | <input type="checkbox"/> No Drain | <input type="checkbox"/> Leak | <input type="checkbox"/> Crack |
| <input type="checkbox"/> Mildew | <input type="checkbox"/> Frost Heave | <input type="checkbox"/> Reparge | | | |

Garage

Type

- Attached
 Built-In
 Detached
 Single
 Double
 Insulated
 Attic Access

Check on code with local authorities regarding venting from interior. Recommend removing to reduce any associated hazards.



Door

- Binds
 Damaged
 Automatic
 Sectional
 Wood
 Metal
 Adjust Auto Stop
 No Safety Stop
 Stain
 Corrosion

Operational: Yes

Floor

- Crack
 Settlement
 Asphalt
 Concrete
 Gravel
 Stain

Damaged: No

Wall

- No Fire Barrier
 Drywall
 Unfinished
 Brick
 Wood
 Stain

Damaged: No



Window

Binds Damaged

Operational: Yes

Ceiling

No Fire Barrier Drywall Crack Wood Stain Unfinished

Damaged: No

Lighting

None Unsecured

Operational: Yes

Receptacle

Damaged Install GFCI Reverse Polarity No Ground Open Ground

Operational: Yes

Circuit Wire

Concealed Unsecured Improper

Access Door

Auto Door Close Metal Clad Wood Composite Gas Proof
 Damaged Stain Corrosion

Operational: Yes

Install self closing mechanism to reduce any safety hazards.

Roof Structure

Inspected By:

- Binocular
 Roof Edge
 Walk On
 No Access

Limitations

- Deck
 Gravel
 Height
 Steep Slope
 Rain
 Solar Panel

Main Roof

- Flat
 Gable
 Valley
 Hip
 Shed
 Other



Gutter/Downspout

- Unsecured
 Aluminum
 Galvanized
 Plastic
 Corrosion
 Leak
 Drainage Below Ground
 Extended Leader
 Redirect Leader
 Clean

Damaged: No

- Incomplete
 Dent
 Spill

Fascia/Soffit

- Not Vented
 Aluminum
 Wood
 Vinyl
 Other
 Mildew
 Stain
 Corrosion

Damaged: No

- Loose

Covering

- Asphalt Shingle
 Concrete
 Wood Shingle
 Wood Shake
 Fiberglass Shingle
 Tar
 Metal
 Other
 Nail Pop
 Loose
 Broken
 Crack
 Patched
 Mildew
 Stain
 Worn
 Curl
 Fungus
 Improper Installation

Damaged: No



Life Expectancy

- Middle
 Typical
 Exceeded

Accessory

- Unsecured
 Air Vent
 Vent Stack
 Turbine
 Electrical Mast
 Solar Panel
- Skylight
 Antenna
 Dish

Damaged: No



Flashing

- Not Checked
 Chimney
 Dormer
 Drip Edge
 Flat Roof
 Skylight
- Roof to Wall
 Stack
 Valley
 Roll Roofing
 Aluminum
 Copper
- Rubber
 Gap
 Deterioration
 Corrosion
 Tarred
 Reseal
- Improper
 Replace When Re-roofing

Damaged: No

Seal and maintain flashing to reduce water entry related damages. Remove debris to allow proper water flow.

Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan



Chimney/Vent

- | | | | | | |
|----------------------------------|------------------------------------|---|--|--|------------------------------------|
| <input type="checkbox"/> Leaning | <input type="checkbox"/> Fireplace | <input checked="" type="checkbox"/> Furnace | <input checked="" type="checkbox"/> Gas Insert | <input type="checkbox"/> Other | <input type="checkbox"/> Brick |
| <input type="checkbox"/> Metal | <input type="checkbox"/> Wood | <input type="checkbox"/> Stucco | <input type="checkbox"/> Crack | <input type="checkbox"/> Deterioration | <input type="checkbox"/> Corrosion |
| <input type="checkbox"/> Loose | <input type="checkbox"/> Abandoned | <input type="checkbox"/> No Wind Cap | <input type="checkbox"/> Metal Liner Required | | |

Damaged: **No**

Chimney Cap

- | | | | | | |
|--|------------------------------------|----------------------------------|---|--------------------------------|--------------------------------|
| <input type="checkbox"/> None | <input type="checkbox"/> Concrete | <input type="checkbox"/> Masonry | <input checked="" type="checkbox"/> Metal | <input type="checkbox"/> Other | <input type="checkbox"/> Crack |
| <input type="checkbox"/> Deterioration | <input type="checkbox"/> Corrosion | <input type="checkbox"/> Loose | | | |

Damaged: **No**

Limitations

- No Access
 Sealed
 Stored Items
 Looked In
 Entered
 Hatch
 Pull Down
 Insulated

Structure

- Truss
 Rafter
 Warped
 Stain
 Sag
 Split

Damaged: No

Consult a qualified roofing contractor to determine cause of water entry and correct as required to reduce further damages.



Stain noted. Dry at time of inspection.

Sheathing

- Condensation
 Composite
 Thermal Board
 Plywood
 Board
 R Felt
 Mildew
 Sag
 Stain

Damaged: No

Insulation

- Radiant Barrier
 Concealed
 Finished
 None
 Vapor Barrier
 Fibreglass
 Mineral
 Cellulose
 Wood Shavings
 Rigid Plastic
 Foam
 Other
 Batt
 Blown
 Sprayed
 Required

Damaged: No

Estimated Depth 8-10"



Ventilation

- None Soffit Gable End Turbine Mechanical Baffles
 Roof Blocked Required
- Damaged: No**
- ridge Cap Ventilation

Exhaust Duct

- Concealed Not Insulated Into Attic Plastic Metal
- Damaged: No**

Electrical

- Concealed Abandoned Knob & Tub Open Splice Frayed
- Damaged: No**

Basement/Structure

Limitations

- Finished
 Clutter
 Dry Weather
 Dry Ground



Floor

- Crack
 Concrete
 Carpet
 Ceramic
 Vinyl
 Wood
 Laminate

Damaged: No

Wall

- Crack
 Concealed
 Mildew
 Concrete
 Brick
 PWF

Damaged: No



Crack / repair noted.

Ceiling

- Stain
 Unfinished
 Drywall
 Stipple
 Wood
 Tile

Damaged: No

Door **Damaged: No**

Binds
 Damaged
 Pocket
 Hinged
 Wood
 Composite

Lighting **Damaged: No**

Minimal
 Unsecured

Receptacle **Damaged: No**

Damaged
 Install GFCI
 Reverse Polarity
 No Ground
 Open Ground

Circuit Wire

Concealed
 Unsecured
 Improper

Heat Source

None
 Thermostat
 Electric
 Air Register
 Convector
 Radiant

Floor Joist **Damaged: No**

Concealed
 Unsecured
 Split
 Stain
 Other

Sill Plate **Damaged: No**

Concealed
 Moisture Gasket
 Mildew
 Stain
 No Anchors

Beam **Damaged: No**

Unsecured
 Concealed
 Laminate
 Metal
 Wood
 Sag

Three beams noted.



Post **Damaged: No**

On Slab
 Concealed
 Adjustable
 Brick
 Concrete
 Wood

Bearing Wall **Damaged: No**

Concealed

Slab on Grade

Concealed

On Piling

On Brick

Floating

Crack

Frost Heave

Settling

Leak

Damaged:

No

Electrical Service

Service Entrance

- Underground Overhead No Conduit 120 - Volt 120/240 Volt Unsecured
 Frayed

Entrance Cable

- Concealed Aluminum Copper

Main Disconnect

- Switch/Cartridge Fuse Breaker

Disconnect Rating

- Have Electrician Evaluate
Amps 150

Distribution Panel

- Not Opened Non Standard Installation Obstructed **Damaged: No**
 Obsolete Unsecured Corrosion
Location Storage Rm



Panel Rating

- Room For Expansion
Amps 200

Fuse

- Breaker Glass Cartridge Time Delay GFCI Breaker AFCI Breaker
 Blown Over-Fused

Circuit Wire

- | | | | | |
|--|-----------------------------------|--|--------------------------------------|-------------------------------------|
| <input type="checkbox"/> Improper | <input type="checkbox"/> Aluminum | <input checked="" type="checkbox"/> Copper | <input type="checkbox"/> Copper Clad | <input type="checkbox"/> Other |
| <input type="checkbox"/> Non-Metallic Sheathed | | <input type="checkbox"/> Armoured Cable | | <input type="checkbox"/> Knob & Tub |
| <input type="checkbox"/> Double Tapping | <input type="checkbox"/> Spliced | <input type="checkbox"/> Corrosion | <input type="checkbox"/> Scorched | |

Damaged: No

Grounding

- | | | | | |
|------------------------------------|-------------------------------------|--|--|---|
| <input type="checkbox"/> Concealed | <input type="checkbox"/> Ground Rod | <input checked="" type="checkbox"/> Water Main | <input type="checkbox"/> Improper Connection | <input checked="" type="checkbox"/> Meter By-Pass |
|------------------------------------|-------------------------------------|--|--|---|

Bonding

- | | | | | |
|------------------------------------|--|--|--|------------------------------------|
| <input type="checkbox"/> Concealed | <input checked="" type="checkbox"/> Water Pipe | <input checked="" type="checkbox"/> Gas Pipe | <input type="checkbox"/> Improper Connection | <input type="checkbox"/> Corrosion |
| <input type="checkbox"/> Unsecured | | | | |

Heating

Data Plate

Not Legible Incomplete

Model: Armstrong

BTU Input: 150,000

Estimated Age: 2006

Limitations

Cleanout Does Not Open

Oil Tank Not Visible

System Operating In AC Mode

System Shut Down

Piping Concealed

Weather

Smoke Detectors

Operational: Yes

Basement

1st Floor

2nd Floor

3rd Floor

Other

Recommend upgrading, average life span 7-10 years. Check with local authorities regarding smoke/ carbon monoxide detector locations and requirements.

Thermostat/Humidistat

Operational: Yes

Unsecured

Programmable

Standard

Heating Fuel Source

Unknown

Electric

Gas

Heat Type

Convactor

Forced Air

Radiator

Burner Type

Conventional

Mid Efficiency

High Efficiency

Heating System

Advise Service/Repair Contract



Air Requirement

Internal

External

Inadequate

Venting

- Flue
 Sidewall
 Metal
 Improper Rise
 Unsecured
 Corrosion
 Soot

Life Expectancy

- Typical
 Middle
 Exceeded

Gas Burner

Operational: Yes

- Not Checked

Checked for operation only.

Ignition

- Electronic
 Pilot & Thermocoupl

Inspection Door

- Missing
 Soot
 Sealed

Central Humidifier

Damaged: No

- Not Checked
 Water Shut Off
 Damaged
 Clean
 Mildew
 Unsecured
 Corrosion
 Leak

Motor/Blower

- Direct Drive
 Noisy
 Other

Fan Belt

- Loose
 Misaligned
 Other

Filter

- Electronic
 Disposable
 Permanent
 Missing
 Inoperable
 Undersized
 Damaged
 Dirty

Duct/Joint/Housing

- Unsecured
 Corrosion
 Kink

Recommend contacting plumber to evaluate heat ducts and cold air return in basement and to correct as required to promote efficient heating and ventilation

AC/Heat Pump

Operational: Yes

- Not Checked
 Evaporative
 Central
 Geo-Therm
 Air
 Through Wall
 Damged Fins
 Corrosion
 Noisy
 Loose
 Unsecured
 Not Level
 Dirty

Testing A/C unit during low outdoor temperatures will cause system failure. Determine function during cooling season.



Condensation Line

- Improper Drain Corrosion Leak

Refrigerant Line

- Unsecured Not Insulated Leak

Plumbing Components

Limitation

Finished Basement

Public Supply

Metered Concealed Lead Galvanized Plastic Copper



Shut Off Valve

Not Tested Corrosion Leak

Location Storage Rm

Water Pressure

Low Typical High

Hose Bibb

Not Checked Frost Free Anti-Siphon Shut-Off Valve Recaulk Unsecured **Operational: Yes**

Corrosion Leak

Distribution Piping

Concealed Lead Galvanized Plastic Copper **Damaged: No**

Dissimilar Material Unsecured Corrosion Leak

Waste Drainage

Concealed Galvanized Cast Iron Plastic Copper **Damaged: No**

Unsecured Corrosion Leak Advise Septic Tank Checked Odor

Floor Drain

Mechanical Primer None Backed Up No Water No Trap

Vent Stack/Piping

- Concealed
 Galvanized
 Cast Iron
 Plastic
 Copper
 Undersized
 Unsecured
 Corrosion
 Leak

Damaged: No

Main Cleanout

- Concealed
 Improper Plug
 Location Storage Rm

Damaged: No



Hot Water Tank

- Hybrid Heating
 Power-Vented
 Own
 Gas
 Corrosion
 Leak
 Age 2009
 Estimated Capacity I.G. 33 gallon

Operational: Yes

Unsecured

Life Expectancy

- Typical
 Middle
 Exceeded

Fuel Shut-Off

- Concealed
 Location Above tank

Relief Valve

- No Test Lever
 Corrosion
 Other

Discharge Tube

- Undersized
 Discharge

Venting

- Flue
 Sidewall
 Improper Rise
 Unsecured
 Corrosion
 Soot

Damaged: No

Burn Chamber

- Not Checked
 Needs Adjustment

Laundry

Floor Worn No drain Concrete Vinyl Wood Ceramic **Damaged: No**



Wall Patched Unfinished Drywall Brick Wood Ceramic **Damaged: No**

Ceiling Patched Unfinished Drywall Stipple Wood Tile **Damaged: No**

Window Binds Not Tested Single Hung Casement Sliding Bay Thermal Awning Aluminum Vinyl Wood Damaged Mildew Stain Repaint **Operational: Yes**

Lighting None Unsecured **Operational: Yes**

Receptacle Damaged Install GFCI Reverse Polarity No Ground Open Ground **Operational: Yes**

Tub/Faucet Unsecured Plastic Other Slow Drain Corrosion Leak **Damaged: No**

Tested for 5-10 minutes. No leaks at time of inspection.

Trap/Drain Unsecured Improper Trap Slow Drain Corrosion Leak **Damaged: No**

Washer **Damaged: No**
Make Maytag



Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

Tested on off only.

Dryer**Damaged: No**

Make Maytag

Tested on off only

Dryer Vent**Damaged: No**

Unsecured With Other Exhaust To Crawlspace To Attic Plastic Duct

Recommend replacing flex line with hard tubing to reduce any safety hazards.

Heat Source

None Thermostat Electric Air Register Convector Radiant

Fireplace

Type

- Built-in Free Standing Gas Insert Wood Insert Metal Liner Firebrick
 External Air Supply

Gas fire places tested for operation only. Operational at time of inspection.



Fireplace Front

- Soot Brick Ceramic Marble Stone

Some cracking noted .

Damaged: No

Main Bathroom

Location

Basement 1st Floor 2nd Floor 3rd Floor Other

Water Flow

Normal Suspect Low

Floor

Worn Crack Carpet Vinyl Wood Ceramic **Damaged: No**

Wall

Patched Crack Drywall Brick Wood Ceramic **Damaged: No**

Ceiling

Patched Crack Drywall Stipple Wood Tile **Damaged: No**

Window

Binds Not Tested Single Hung Casement Sliding Bay Thermal Aluminum Vinyl Wood Damaged Mildew Stain Repaint Awning **Operational: Yes**

Door

Binds Damaged Pocket Hinged Wood Composite **Operational: Yes**

Lighting

None Unsecured **Operational: Yes**

Receptacle

Damaged Install GFCI Reverse Polarity No Ground Open Ground **Operational: Yes**

Replace duplex receptacle with three prong outlets to accommodate current appliances. Recommend replacing receptacles with GFCI unit to provide intended shock protection.

Exhaust Fan

Advise Installation **Operational: Yes**

Sink

Worn Chip **Damaged: No**

Faucet

No Shut-off Sticks Unsecured Corrosion Leak **Operational: Yes**

Tested for 5-10 minutes, no leaks at time of inspection

Trap/Drain

Unsecured Improper Trap Slow Drain Corrosion Leak **Damaged: No**

Vanity

- Worn Unsecured Laminate Plywood Wood Metal
 Scratch Mildew Missing Hardware

Damaged: No

Counter

- Unsecured Solid Surface Marble Laminate Ceramic RegROUT
 Mildew Scratch Worn

Damaged: No

Toilet

- No Shut-Off Tank Loose Unsecured Crack Leak

Operational: Yes

Tub/Enclosure

- Unsecured Ceramic Cultured Marble Fiberglass Plastic RegROUT
 Mildew Crack Worn

Damaged: No

Faucet/Shower Head

- Not Tested Sticks Unsecured Corrosion Leak

Operational: Yes

Tested for 5-10 minutes, no leaks at time of inspection

Shower Enclosure

- Unsecured Ceramic Cultured Marble Fiberglass Plastic RegROUT
 Mildew Scratch Worn

Damaged: No

Mixer/Shower Head

- Not Tested Sticks Unsecured Corrosion Leak

Operational: Yes

Heat Source

- None Thermostat Electric Air Register Convector Radiant

Bathroom

Location

Basement 1st Floor 2nd Floor 3rd Floor Other

Water Flow

Normal Suspect Low

Floor

Worn Crack Carpet Vinyl Wood Ceramic **Damaged: No**

Wall

Patched Crack Drywall Brick Wood Ceramic **Damaged: No**

Ceiling

Patched Crack Drywall Stipple Wood Tile **Damaged: No**

Door

Binds Damaged Pocket Hinged Wood Composite **Operational: Yes**

Lighting

None Unsecured **Operational: Yes**

Receptacle

Damaged Install GFCI Reverse Polarity No Ground Open Ground **Operational: Yes**

Replace duplex receptacle with three prong outlets to accommodate current appliances. Recommend replacing receptacles with GFCI unit to provide intended shock protection.

Exhaust Fan

Advise Installation **Operational: Yes**

Sink

Worn Chip **Damaged: No**

Faucet

No Shut-off Sticks Unsecured Corrosion Leak **Operational: Yes**

Tested for 5-10 minutes, no leaks at time of inspection

Trap/Drain

Unsecured Improper Trap Slow Drain Corrosion Leak **Damaged: No**

Vanity

Worn Unsecured Laminate Plywood Wood Metal **Damaged: No**
 Scratch Mildew Missing Hardware

Counter

- | | | | | | |
|------------------------------------|---|---------------------------------|-----------------------------------|----------------------------------|----------------------------------|
| <input type="checkbox"/> Unsecured | <input checked="" type="checkbox"/> Solid Surface | <input type="checkbox"/> Marble | <input type="checkbox"/> Laminate | <input type="checkbox"/> Ceramic | <input type="checkbox"/> Regrout |
| <input type="checkbox"/> Mildew | <input type="checkbox"/> Scratch | <input type="checkbox"/> Worn | | | |

Damaged: No

Toilet

- | | | | | |
|--------------------------------------|-------------------------------------|------------------------------------|--------------------------------|-------------------------------|
| <input type="checkbox"/> No Shut-Off | <input type="checkbox"/> Tank Loose | <input type="checkbox"/> Unsecured | <input type="checkbox"/> Crack | <input type="checkbox"/> Leak |
|--------------------------------------|-------------------------------------|------------------------------------|--------------------------------|-------------------------------|

Operational: Yes

Faucet/Shower Head

- | | | | | |
|-------------------------------------|---------------------------------|------------------------------------|------------------------------------|-------------------------------|
| <input type="checkbox"/> Not Tested | <input type="checkbox"/> Sticks | <input type="checkbox"/> Unsecured | <input type="checkbox"/> Corrosion | <input type="checkbox"/> Leak |
|-------------------------------------|---------------------------------|------------------------------------|------------------------------------|-------------------------------|

Operational: Yes

Tested for 5-10 minutes, no leaks at time of inspection

Shower Enclosure

- | | | | | | |
|------------------------------------|----------------------------------|--|--|----------------------------------|----------------------------------|
| <input type="checkbox"/> Unsecured | <input type="checkbox"/> Ceramic | <input type="checkbox"/> Cultured Marble | <input checked="" type="checkbox"/> Fiberglass | <input type="checkbox"/> Plastic | <input type="checkbox"/> Regrout |
| <input type="checkbox"/> Mildew | <input type="checkbox"/> Scratch | <input type="checkbox"/> Worn | | | |

Damaged: No

Heat Source

- | | | | | | |
|-------------------------------|-------------------------------------|-----------------------------------|--|------------------------------------|----------------------------------|
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input checked="" type="checkbox"/> Air Register | <input type="checkbox"/> Convector | <input type="checkbox"/> Radiant |
|-------------------------------|-------------------------------------|-----------------------------------|--|------------------------------------|----------------------------------|

Water Flow

Normal Suspect Low

Floor

Worn Crack Carpet Vinyl Wood Ceramic

Damaged: No

Wall

Patched Crack Drywall Brick Wood Ceramic

Damaged: No

Ceiling

Patched Crack Drywall Stipple Wood Tile

Damaged: No

Window

Binds Not Tested Single Hung Casement Sliding Bay
 Thermal Aluminum Vinyl Wood Damaged Mildew
 Stain Repaint Awning

Operational: Yes

Lighting

None Unsecured

Operational: Yes

Sink

Worn Chip

Damaged: No

Faucet

No Shut-off Sticks Unsecured Corrosion Leak

Operational: Yes

Tested for 5-10 minutes, no leaks at time of inspection

Trap/Drain

Unsecured Improper Trap Slow Drain Corrosion Leak

Damaged: No

Vanity

Worn Unsecured Laminate Plywood Wood Metal
 Scratch Mildew Missing Hardware

Damaged: No

Counter

Unsecured Solid Surface Marble Laminate Ceramic Regrout
 Mildew Scratch Worn

Damaged: No

Toilet

No Shut-Off Tank Loose Unsecured Crack Leak

Operational: Yes

Heat Source

None Thermostat Electric Air Register Convector Radiant

Kitchen

Floor **Damaged:** **No**
 Worn Crack Carpet Vinyl Wood Ceramic

Wall **Damaged:** **No**
 Patched Crack Drywall Brick Wallpaper Ceramic

Ceiling **Damaged:** **No**
 Patched Crack Drywall Stipple Wood Tile

Window **Operational:** **Yes**
 Binds Not Tested Single Hung Casement Sliding Bay
 Thermal Aluminum Vinyl Wood Damaged Mildew
 Stain Repaint Awning

Lighting **Operational:** **Yes**
 None Unsecured

Ceiling Fan **Operational:** **Yes**
 None Unsecured

Receptacle **Operational:** **Yes**
 Damaged Install GFCI Reverse Polarity No Ground Open Ground

Sink **Damaged:** **No**
 Worn Chip Single Double Stainless Enamel

Faucet **Operational:** **Yes**
 No Shut-Off Valve Sticks Unsecured Corrosion Leak
 Tested for 5-10 minutes, no leaks at time of inspection

Trap/Drain **Damaged:** **No**
 Unsecured Improper Trap Slow Drain Corrosion Leak

Counter **Damaged:** **No**
 Unsecured Ceramic Marble Laminate Solid Surface RegROUT
 Mildew Scratch Worn

Cabinet **Damaged:** **No**
 Worn Unsecured Laminate Plywood Wood Metal
 Missing Hardware Mildew Scratch Other

Range Hood **Operational:** **Yes**
 Cooktop Exhaust Corrosion No Exhaust No Light Noisy
 Older Unit noted. Budget to update. Determine cause of inoperable light and repair as required.

Exhaust vent

- Unsecured Ductless Concealed With Other Exhaust To Attic
 Improper To Exterior

Filter

- None Unsecured Damaged Greasy

Damaged: No

Major Appliances (Built-in)

- Tested ON/OFF only. Did Not Test All Functions

Dishwasher

Operational: Yes

- Tested ON/OFF

Ran through rinse cycle only. Loud during inspection. Older unit noted. Budget to replace.

Refrigerator

Operational: Yes

- Interior cold to the touch

Heat Source

- None Thermostat Electric Air Register Convector Radiant

Foyer

| | | | | | |
|--|--|---|---|------------------------------------|---|
| Floor | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Carpet | <input checked="" type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input checked="" type="checkbox"/> Ceramic |
| Wall | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Wallpaper |
| Ceiling | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input checked="" type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input type="checkbox"/> Tile |
| Lighting | | | | Operational: | Yes |
| <input type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | |
| Ceiling Fan | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | |
| Receptacle | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | <input type="checkbox"/> No Ground <input type="checkbox"/> Open Ground | | |
| Closet/Door | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Light | <input checked="" type="checkbox"/> Bifold | <input type="checkbox"/> Hinged | <input type="checkbox"/> Sliding |
| Stairway | | | | Damaged: | No |
| <input type="checkbox"/> Unsecured | <input checked="" type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Worn | <input type="checkbox"/> Trip Hazard |
| Railing | | | | Damaged: | No |
| <input type="checkbox"/> Unsecured | <input type="checkbox"/> Metal | <input checked="" type="checkbox"/> Wood | <input type="checkbox"/> Incomplete | <input type="checkbox"/> None | |
| Front Door | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input type="checkbox"/> Binds | <input type="checkbox"/> Metal Clad | <input checked="" type="checkbox"/> Wood | <input type="checkbox"/> Dead Bolt | <input type="checkbox"/> Replace Sill |
| <input type="checkbox"/> Weather Seal | <input type="checkbox"/> Split | <input type="checkbox"/> Worn | | | |

Damage noted to back patio door.



Back door

Family Room

Floor **Damaged:** **No**
 Worn Crack Carpet Vinyl Wood Ceramic

Wall **Damaged:** **No**
 Patched Crack Drywall Brick Wood Wallpaper

Ceiling **Damaged:** **No**
 Patched Crack Drywall Stipple Wood Tile

Window **Operational:** **Yes**
 Binds Not Tested Single Hung Casement Sliding Bay
 Fixed Aluminum Vinyl Wood Mildew Damaged
 Stain Repaint Awning

Patio Door **Operational:** **Yes**
 Binds Damaged Sliding Hinged Wood Metal

Lighting **Operational:** **Yes**
 None Unsecured

Ceiling Fan **Operational:** **Yes**
 None Unsecured

Receptacle **Operational:** **Yes**
 Damaged Switched Reverse Polarity No Ground Open Ground

Heat Source
 None Thermostat Electric Air Register Convector Radiant

Front

Living Room

Floor

Worn
 Crack
 Carpet
 Vinyl
 Wood
 Ceramic

Damaged: No

Wall

Patched
 Crack
 Drywall
 Brick
 Wood
 Wallpaper

Damaged: No

Determine cause of cracking and correct as required. Fill and seal drywall cracks to reduce further separation



Ceiling

Patched
 Crack
 Drywall
 Stipple
 Wood
 Tile

Damaged: No

Window

Binds
 Not Tested
 Single Hung
 Casement
 Sliding
 Bay
 Fixed
 Aluminum
 Vinyl
 Wood
 Damaged
 Mildew
 Stain
 Repaint
 Awning

Operational: Yes

Patio Door

Binds
 Damaged
 Sliding
 Hinged
 Wood
 Metal

Operational: Yes

Lighting

None
 Unsecured

Operational: Yes

Ceiling Fan

None
 Unsecured

Operational: Yes

Receptacle

Damaged
 Switched
 Reverse Polarity
 No Ground
 Open Ground

Operational: Yes

Heat Source

None
 Thermostat
 Electric
 Air Register
 Convector
 Radiant



Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

Living Rm

| | | | | | | | |
|---|--|---|--|-------------------------------------|--------------------------------------|---------------------|------------|
| Floor | | | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Ceramic | | |
| Wall | | | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Wallpaper | | |
| Ceiling | | | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input checked="" type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input type="checkbox"/> Tile | | |
| Window | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Not Tested | <input type="checkbox"/> Single Hung | <input type="checkbox"/> Casement | <input type="checkbox"/> Sliding | <input type="checkbox"/> Bay | | |
| <input checked="" type="checkbox"/> Fixed | <input type="checkbox"/> Aluminum | <input checked="" type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Damaged | <input type="checkbox"/> Mildew | | |
| <input type="checkbox"/> Stain | <input type="checkbox"/> Repaint | <input type="checkbox"/> Awning | | | | | |
| Lighting | | | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Ceiling Fan | | | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Receptacle | | | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input checked="" type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | | <input type="checkbox"/> No Ground | <input type="checkbox"/> Open Ground | | |
| Heat Source | | | | | | | |
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input checked="" type="checkbox"/> Air Register | <input type="checkbox"/> Convectore | <input type="checkbox"/> Radiant | | |

master

Bedroom

| | | | | | | | |
|---|-------------------------------------|---|--|---|--------------------------------------|---------------------|------------|
| Floor | | | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Ceramic | | |
| Wall | | | | | | Damaged: | No |
| <input type="checkbox"/> Uneven | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Composite | | |
| Ceiling | | | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input checked="" type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input type="checkbox"/> Tile | | |
| Window | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Not Tested | <input type="checkbox"/> Single Hung | <input checked="" type="checkbox"/> Casement | <input type="checkbox"/> Sliding | <input type="checkbox"/> Bay | | |
| <input checked="" type="checkbox"/> Fixed | <input type="checkbox"/> Aluminum | <input checked="" type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Damaged | <input type="checkbox"/> Mildew | | |
| <input type="checkbox"/> Stain | <input type="checkbox"/> Repaint | <input type="checkbox"/> Awning | | | | | |
| Door | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Pocket | <input checked="" type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Wood | <input type="checkbox"/> Composite | | |
| Closet/Door | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Light | <input type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Bi-Fold | <input type="checkbox"/> Sliding | | |
| Lighting | | | | | | Operational: | Yes |
| <input type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Ceiling Fan | | | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Receptacle | | | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | | <input type="checkbox"/> No Ground | <input type="checkbox"/> Open Ground | | |
| Heat Source | | | | | | | |
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input checked="" type="checkbox"/> Air Register | <input type="checkbox"/> Convector | <input type="checkbox"/> Radiant | | |

Front

Bedroom

| | | | | | |
|---|--|---|--|---|--------------------------------------|
| Floor | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Ceramic |
| Wall | | | | Damaged: | No |
| <input type="checkbox"/> Uneven | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Composite |
| Ceiling | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input checked="" type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input type="checkbox"/> Tile |
| Window | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Not Tested | <input type="checkbox"/> Single Hung | <input checked="" type="checkbox"/> Casement | <input type="checkbox"/> Sliding | <input type="checkbox"/> Bay |
| <input checked="" type="checkbox"/> Fixed | <input type="checkbox"/> Aluminum | <input checked="" type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Damaged | <input type="checkbox"/> Mildew |
| <input type="checkbox"/> Stain | <input type="checkbox"/> Repaint | <input type="checkbox"/> Awning | | | |
| Door | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Pocket | <input checked="" type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Wood | <input type="checkbox"/> Composite |
| Closet/Door | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Light | <input type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Bi-Fold | <input type="checkbox"/> Sliding |
| Lighting | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | |
| Ceiling Fan | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | |
| Receptacle | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input checked="" type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | | <input type="checkbox"/> No Ground | <input type="checkbox"/> Open Ground |
| Heat Source | | | | | |
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input checked="" type="checkbox"/> Air Register | <input type="checkbox"/> Convactor | <input type="checkbox"/> Radiant |

Bsmt

Bedroom

| | | | | | | | |
|--|--|---|--|---|--|---------------------|------------|
| Floor | | | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Ceramic | | |
| Wall | | | | | | Damaged: | No |
| <input type="checkbox"/> Uneven | <input type="checkbox"/> Crack | <input checked="" type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Composite | | |
| Ceiling | | | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input type="checkbox"/> Drywall | <input type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input checked="" type="checkbox"/> Tile | | |
| Window | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Not Tested | <input type="checkbox"/> Single Hung | <input checked="" type="checkbox"/> Casement | <input type="checkbox"/> Sliding | <input type="checkbox"/> Bay | | |
| <input type="checkbox"/> Thermal | <input type="checkbox"/> Aluminum | <input checked="" type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Damaged | <input type="checkbox"/> Mildew | | |
| <input type="checkbox"/> Stain | <input type="checkbox"/> Repaint | <input type="checkbox"/> Awning | | | | | |
| Door | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Pocket | <input checked="" type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Wood | <input type="checkbox"/> Composite | | |
| Closet/Door | | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Light | <input type="checkbox"/> Hinged | <input checked="" type="checkbox"/> Bi-Fold | <input type="checkbox"/> Sliding | | |
| Lighting | | | | | | Operational: | Yes |
| <input checked="" type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Ceiling Fan | | | | | | Operational: | Yes |
| <input type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | | |
| Receptacle | | | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input checked="" type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | | <input type="checkbox"/> No Ground | <input type="checkbox"/> Open Ground | | |
| Heat Source | | | | | | | |
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input checked="" type="checkbox"/> Air Register | <input type="checkbox"/> Convector | <input type="checkbox"/> Radiant | | |

Bedroom

Floor **Damaged:** **No**
 Worn Crack Carpet Vinyl Wood Ceramic

Wall **Damaged:** **No**
 Uneven Crack Drywall Brick Wood Composite

Ceiling **Damaged:** **No**
 Patched Crack Drywall Stipple Wood Tile

Window **Operational:** **Yes**
 Binds Not Tested Single Hung Casement Sliding Bay
 Thermal Aluminum Vinyl Wood Damaged Mildew
 Stain Repaint Awning

Door **Operational:** **Yes**
 Binds Damaged Pocket Hinged Wood Composite

Patio/Door **Operational:** **Yes**
 Binds Damaged Sliding Hinged Wood Metal

Closet/Door **Operational:** **Yes**
 Binds Damaged Light Hinged Bi-Fold Sliding

Lighting **Operational:** **Yes**
 None Unsecured

Ceiling Fan **Operational:** **Yes**
 None Unsecured

Receptacle **Operational:** **Yes**
 Damaged Switched Reverse Polarity No Ground Open Ground

Heat Source
 None Thermostat Electric Air Register Convector Radiant

Bedroom

| | | | | | | |
|----------------------------------|-------------------------------------|---|---------------------------------------|------------------------------------|--------------------------------------|------------|
| Floor | | | | | Damaged: | No |
| <input type="checkbox"/> Worn | <input type="checkbox"/> Crack | <input type="checkbox"/> Carpet | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Ceramic | |
| Wall | | | | | Damaged: | No |
| <input type="checkbox"/> Uneven | <input type="checkbox"/> Crack | <input type="checkbox"/> Drywall | <input type="checkbox"/> Brick | <input type="checkbox"/> Wood | <input type="checkbox"/> Composite | |
| Ceiling | | | | | Damaged: | No |
| <input type="checkbox"/> Patched | <input type="checkbox"/> Crack | <input type="checkbox"/> Drywall | <input type="checkbox"/> Stipple | <input type="checkbox"/> Wood | <input type="checkbox"/> Tile | |
| Window | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Not Tested | <input type="checkbox"/> Single Hung | <input type="checkbox"/> Casement | <input type="checkbox"/> Sliding | <input type="checkbox"/> Bay | |
| <input type="checkbox"/> Thermal | <input type="checkbox"/> Aluminum | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input type="checkbox"/> Damaged | <input type="checkbox"/> Mildew | |
| <input type="checkbox"/> Stain | <input type="checkbox"/> Repaint | <input type="checkbox"/> Awning | | | | |
| Door | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Pocket | <input type="checkbox"/> Hinged | <input type="checkbox"/> Wood | <input type="checkbox"/> Composite | |
| Patio/Door | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Sliding | <input type="checkbox"/> Hinged | <input type="checkbox"/> Wood | <input type="checkbox"/> Metal | |
| Closet/Door | | | | | Operational: | Yes |
| <input type="checkbox"/> Binds | <input type="checkbox"/> Damaged | <input type="checkbox"/> Light | <input type="checkbox"/> Hinged | <input type="checkbox"/> Bi-Fold | <input type="checkbox"/> Sliding | |
| Lighting | | | | | Operational: | Yes |
| <input type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | |
| Ceiling Fan | | | | | Operational: | Yes |
| <input type="checkbox"/> None | <input type="checkbox"/> Unsecured | | | | | |
| Receptacle | | | | | Operational: | Yes |
| <input type="checkbox"/> Damaged | <input type="checkbox"/> Switched | <input type="checkbox"/> Reverse Polarity | | <input type="checkbox"/> No Ground | <input type="checkbox"/> Open Ground | |
| Heat Source | | | | | | |
| <input type="checkbox"/> None | <input type="checkbox"/> Thermostat | <input type="checkbox"/> Electric | <input type="checkbox"/> Air Register | <input type="checkbox"/> Convector | <input type="checkbox"/> Radiant | |

Additional Comments

General Comments

Condition of the home are relative to the age of the home.

Limitations

Standard and Mid - Efficiency Furnace - Only a limited section of the heat exchanger could be viewed with a light and mirror. Dismantling the furnace to thoroughly inspect the heat exchanger is beyond the scope of this inspection. You are advised to obtain the services of a qualified gas fitter/technician to perform a complete inspection of your furnace prior to the start of the heating season.

Supplementary Comments

Recommend installing & testing regularly Carbon Monoxide Detectors (locate in bedroom area + rooms with fireplace) and new Smoke sensors (mandatory every floor). Propane & Natural Gas sensors are also available in stores. (\$35-\$60) It is very important that water & runoff drain away from foundations to minimize chance of water leakage into the basement, as cracks in foundation walls are common. Make sure the ground, patios and walkways slope away from the house for the first six feet.



Report Commentary

Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the entire report.

1.0 Property and Site

1.1 **Deck/Patio**

Repair sealant /covering to reduce moisture related damages.

2.0 Garage

2.1 **Type**

Check on code with local authorities regarding venting from interior. Recommend removing to reduce any associated hazards.

2.2 **Access Door**

Install self closing mechanism to reduce any safety hazards.

3.0 Roof Structure

3.1 **Flashing**

Seal and maintain flashing to reduce water entry related damages. Remove debris to allow proper water flow.

4.0 Attic

4.1 **Structure**

Consult a qualified roofing contractor to determine cause of water entry and correct as required to reduce further damages.

5.0 Basement/Structure

5.1 **Beam**

Three beams noted.

6.0 Heating

6.1 **Smoke Detectors**

Recommend upgrading, average life span 7-10 years. Check with local authorities regarding smoke/ carbon monoxide detector locations and requirements.

6.2 **Gas Burner**

Checked for operation only.

6.3 **Duct/Joint/Housing**

Report Commentary

Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

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6.0 Heating

Recommend contacting plumber to evaluate heat ducts and cold air return in basement and to correct as required to promote efficient heating and ventilation

7.0 Laundry

7.1 **Dryer Vent**

Recommend replacing flex line with hard tubing to reduce any safety hazards.

8.0 Fireplace

8.1 **Fireplace Front**

Some cracking noted .

9.0 Kitchen

9.1 **Dishwasher**

Ran through rinse cycle only. Loud during inspection. Older unit noted. Budget to replace.

10.0 Foyer

10.1 **Front Door**

Damage noted to back patio door.

11.0 Living Room Front

11.1 **Wall**

Determine cause of cracking and correct as required. Fill and seal drywall cracks to reduce further separation

12.0 Additional Comments

12.1 **General Comments**

Condition of the home are relative to the age of the home.

12.2 **Limitations**

Standard and Mid - Efficiency Furnace - Only a limited section of the heat exchanger could be viewed with a light and mirror. Dismantling the furnace to thoroughly inspect the heat exchanger is beyond the scope of this inspection. You are advised to obtain the services of a qualified gas fitter/technician to perform a complete inspection of your furnace prior to the start of the heating season.

12.3 **Supplementary Comments**



Report Commentary

Date: 21-Apr-2015

12 Riverbend Cr, North Battleford, Saskatchewan

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the entire report.

12.0 Additional Comments

Recommend installing & testing regularly Carbon Monoxide Detectors (locate in bedroom area + rooms with fireplace) and new Smoke sensors (mandatory every floor). Propane & Natural Gas sensors are also available in stores. (\$35-\$60) It is very important that water & runoff drain away from foundations to minimize chance of water leakage into the basement, as cracks in foundation walls are common. Make sure the ground, patios and walkways slope away from the house for the first six feet.